

ORDINANCE NO. 1095

**AN ORDINANCE OF THE CITY OF FORNEY, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP, AS HERETOFORE AMENDED, BY GRANTING A PLANNED DEVELOPMENT DISTRICT (PD SF) FOR SINGLE FAMILY RESIDENTIAL USES FOR THE PROPERTY DESCRIBED AS 662.86 ACRES OF LAND MORE OR LESS IN THE SAMUEL SMITH, HEIRS SURVEY, ABSTRACT NO. 450, KAUFMAN COUNTY, TEXAS, MORE PARTICULARLY DESCRIBED IN EXHIBIT "A" ATTACHED, AND KNOWN AS MEADOW RIDGE FARM; APPROVING PLANNED DEVELOPMENT STANDARDS AS EXHIBIT "B"; APPROVING THE CONCEPT PLAN/LAND STUDY ATTACHED HERETO AS EXHIBIT "C"; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission of the City of Forney and the City Council of the City of Forney, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes. have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Forney is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended; **NOW, THEREFORE**,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FORNEY, TEXAS:**

**SECTION 1.** That the Comprehensive Zoning Ordinance and Map of the City of Forney, Texas, be, and the same are hereby, amended so as to grant a Planned Development District (PD SF) for the property described as 662.865 acres, more or less. in the Samuel Smith. Heirs Survey, Abstract No. 450, Kaufman County, Texas, known as Meadow Ridge Farm, and more particularly described in Exhibit "A" attached hereto and made part hereof for all purposes.

**SECTION 2.** That the granting of this Planned Development District is subject to the following general and special conditions:

- a. That the Planned Development ("PD") will be constructed in accordance with the Planned Development District Standards, attached hereto as Exhibit "B" and made a part hereof for all purposes;
- b. That the PD will be constructed in accordance with the concept plan and land study incorporated in Exhibit "C" (2 pages), attached hereto and made part hereof for all purposes;
- c. That the permitted uses for the development shall be as listed in Exhibit "B" attached hereto and made part hereof for all purposes; and
- d. That submission and approval of the detailed PD site plan shall be in accordance with Section 12 of the zoning ordinance. No building permit will be issued for any part of the PD until the detailed site plan and all other engineering/construction plans are first approved as provided by Section 12 of the zoning ordinance.

**SECTION 3** That all ordinances of the City of Forney in conflict with the provisions of this ordinance be, and the same are hereby, repealed.

**SECTION 4.** That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance and Map as a whole.

**SECTION 5.** That any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of Forney, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and Charter in such cases provide.

**DULY PASSED** by the City Council of the City of Forney, Texas, on the 16 day of December, 2003



**APPROVED:**  
[Signature]  
MAYOR

**APPROVED AS TO FORM:**  
[Signature]  
CITY ATTORNEY  
(RLD/11-6-03)

**ATTEST:**  
[Signature]  
CITY SECRETARY

EXHIBIT "A"  
MEADOW RIDGE FARM  
BOUNDARY DESCRIPTION  
662.865 acres

BEING a 662.865 acre tract of land situated in the SAMUEL SMITH, HEIRS SURVEY, ABSTRACT No.450, Kaufman County, Texas, and being a portion of tract (1) as described in deed from Mrs. Nonie B Mahoney, and Joseph P Mahoney to S.H. Boren dated November 8, 1919, recorded in Volume 170, Page 336, Deed Records of Kaufman County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod set for corner, said iron rod being at the intersection of the northeast line of County Road No. 217, and the southeast line of Reeder Road;

THENCE N 48°00'00" E, along the southeast line of said Reeder Road a distance of 700 00 feet to a 5/8" iron rod set for corner;

THENCE N 45°30'00" E, continuing along the southeast line of said Reeder Road a distance of 238.02 feet to a 5/8" iron rod set for corner;

THENCE North 44°11'12" West (called North 45°02'21" West), departing said County Road No. 219, a distance of 488.06 feet (called 488.15 feet) to a 5/8-inch iron pipe found for corner;

THENCE North 43°57'13" West (called North 44°47'11" West), a distance of 2083 01 feet (called 2083.26 feet) to a found 5/8-inch iron rod found for corner;

THENCE North 44°04'02" West (called North 45° West), a distance of 1404 79 feet (called 1405.5 feet) to a found 3/8-inch iron rod for corner;

THENCE North 45°44'14" East (called North 45°08'30" East) a distance of 208.71 feet (called 208 feet) to a point for corner;

THENCE North 44°07'37" West (called North 45° West) a distance of 208.71 feet (called 208 feet) to a point for corner, said corner also being on the southeast right-of-way line of F M. Road 548 (no record found);

THENCE North 45°45'41" East (called North 45°08'30" East), along the southeast right-of-way line of said F M. Road 548, a distance of 1964 30 feet (called 1962 feet) to a point for corner;

THENCE South 43°56'31" East (called South 45° East), departing the southeast line of said F M. Road 548, a distance of 418.00 feet to a point for corner;

THENCE North 45°45'41" East (called North 45°08'30" East), passing at a distance of 398 00 feet, a found ½-inch iron rod and continuing for a total distance of 418 00 feet to a point for corner, said corner being in aforesaid Reeder Lane;

THENCE South 43°56'31" East (called South 45° East), generally along Reeder Lane, a distance of 3753.52 feet (called 3753 feet), to a point for corner;

THENCE N 45°30'00" E a distance of 1039 40 feet a point for corner;

THENCE S 45°00'00" E a distance of 5902.68 feet to a 1" iron pipe found for corner;

THENCE N 45°16'03" E a distance of 1442.08 feet to a square iron found for corner;

THENCE S 44°43'45" E, continuing along said Leman tract line, a distance of 1738.64 feet to a point for corner, said point being in the north line of U S Highway 80 (300' R.O W ),

THENCE N 87°59'53" W, along said north line of U S. Highway 80, a distance of 8798.50 feet to a point for corner;

THENCE N 44°45'00" W, along said northeast line, a distance of 1283 37 to the POINT OF BEGINNING and containing 662.865 acres or 28,874,392 square feet, more or less.

# Meadow Ridge Farm

## EXHIBIT "B" PLANNED DEVELOPMENT DISTRICT STANDARDS

### General Description:

This Planned Development District ("PD") is intended to accommodate high quality single-family detached housing by allowing flexibility within the base zoning district of SF-11, SF-8, SF-PH, MF, NS and GR. Development standards for the aforementioned uses are outlined within this text.

The designation of zoning for the tract is illustrated on attached Zoning Exhibit, which is a part of this proposed ordinance. The legal description for the "PD" is attached as Exhibit "A". References to "Article" or "Section" are to those listed within the City of Forney Comprehensive Zoning Ordinance, Ordinance Number 1085, as amended.

### **1.0** Planned Development District (PD) – Uses and Development Requirements

- 1.01 Permitted Uses: Permitted uses for each respective area shall be as per City Zoning Ordinance Base Districts.
- 1.02 Density: The number of single-family residential lots approved by final plat shall not exceed 1664 units calculated in aggregate (approximate gross density will be 3.2 units per acre).
- 1.03 Single-Family Areas A-J: There are 5 types of lots allowed within this PD as detailed below:

#### 1.03.1 Area A and B Single-Family Lots (Base District SF-8)

- a. Lot Area: The minimum area of any lot shall be four thousand five hundred (4,500) square feet. The average lot area shall be five thousand four hundred (5,400) square feet.
- b. Lot Coverage: In no case shall more than sixty percent (60%) of the total lot area be covered by the combined area of the main buildings and accessory buildings. Swimming pools, spas, deck, patios, driveways, walks, and other paved areas shall not be included in determining maximum lot coverage.
- c. Lot Width: The minimum width of any lot shall not be less than forty-five (45) feet along the front building line, except that lots within the bulb radius of a cul-de-sac or along the bulb portion of street elbows or eyebrows may use an increased front yard setback of no greater than five additional feet (5') in order to achieve the minimum forty five (45') feet lot width along the front building line (i.e., front yard setback can be 25' rather than 20' for these lots), provided all other requirements of this section are fulfilled.

Minimum lot frontage on a public street shall be per the subdivision ordinance.

- d. **Lot Depth:** The minimum depth of any lot shall be one hundred (100) feet, except that a lot along the radius of a cul-de-sac or along street elbows or eyebrows may have a minimum lot depth of ninety (90) feet, provided all other requirements of this section are fulfilled. The minimum depth for lots backing to the Arterial street shall be 100 feet.
- e. **Front Yard:** The minimum depth of the front yard shall be twenty (20) feet except garage door face = 25' from street row
- f. **Side Yard:** Per SF-PH standards.
- g. **Rear Yard:** Per SF-PH standards. The minimum rear yard setback for lots backing to the Arterial street shall be 20 feet
- h. **Minimum Dwelling Size:** The minimum gross floor area shall be one thousand, two hundred (1,200) square feet.
- i. **Building Height:** Buildings shall be a maximum of thirty-six (36) feet or 2½ stories in height.
- j. **Building Materials.** Per Zoning Ordinance #1085 as amended.

1.03.2 Area C and D Single-Family Lots (Base District SF-8)

- a. **Lot Area:** The minimum area of any lot shall be eight thousand (8,000) square feet. The average lot area shall be eight thousand four hundred (8,400) square feet.
- b. **Lot Coverage:** In no case shall more than forty-five percent (45%) of the total lot area be covered by the combined area of the main buildings and accessory buildings. Swimming pools, spas, deck, patios, driveways, walks, and other paved areas shall not be included in determining maximum lot coverage.
- c. **Lot Width:** The minimum width of any lot shall not be less than seventy (70) feet along the front building line, except that lots within the bulb radius of a cul-de-sac or along the bulb portion of street elbows or eyebrows may use an increased front yard setback of no greater than five additional feet (5') in order to achieve the minimum seventy (70') feet lot width along the front building line (i.e., front yard setback can be 30' rather than 25' for these lots), provided all other requirements of this section are fulfilled.

Minimum lot frontage on a public street shall be per the subdivision ordinance.

- d. **Lot Depth:** The minimum depth of any lot shall be one hundred ten (110) feet, except that a lot along the radius of a cul-de-sac or along street elbows or eyebrows may have a minimum lot depth of one hundred (100) feet, provided all other requirements of this section are fulfilled. The minimum depth for lots backing to the Arterial street shall be 110 feet.

- e. **Front Yard:** The minimum depth of the front yard shall be twenty-five (25) feet. The front yard may be reduced to twenty (20) feet if side, swing or rear-garage entry housing product is constructed.
- f. **Side Yard:** Per SF-8 standards. For houses with side, swing or rear entry, the side yard may be reduced to three (3) feet provided the building separation of 12 feet is maintained between houses.
- g. **Rear Yard:** Per SF-8 standards. The minimum rear yard setback for lots backing to the Arterial street shall be 20 feet.
- h. **Minimum Dwelling Size:** The minimum gross floor area shall be one thousand six hundred (1,600) square feet except area "C" shall be two thousand (2,000) square feet.
- i. **Building Height.** Buildings shall be a maximum of thirty-six (36) feet or 2½ stories in height.
- j. **Building Materials.** Per Zoning Ordinance #1085 as amended.
- k. **Area D:** For a maximum depth of 330' as adjacent to U.S. Highway 80 can be developed as General Retail or SF-8 as listed above. All non-residential development areas must be shown on Preliminary Plat. To avoid sporadic non-residential development, Retail development must be contiguous to other Retail areas. Residential Development must be configured as to allow smooth transitions between Residential and Non-residential developments such as street connections.

### 1.03.3 Area E, F and G Single-Family Lots (Base District SF-8)

- a. **Lot Area:** The minimum area of any lot shall be nine thousand (9,000) square feet. The average lot area shall be nine thousand five hundred (9,500) square feet.
- b. **Lot Coverage:** In no case shall more than forty five percent (45%) of the total lot area be covered by the combined area of the main buildings and accessory buildings. Swimming pools, spas, deck, patios, driveways, walks, and other paved areas shall not be included in determining maximum lot coverage.
- c. **Lot Width:** The minimum width of any lot shall not be less than seventy (70) feet along the front building line, except that lots within the bulb radius of a cul-de-sac or along the bulb portion of street elbows or eyebrows may use an increased front yard setback of no greater than five additional feet (5') in order to achieve the minimum seventy (70) foot lot width along the front building line (i.e., front yard setback can be 30' rather than 25' for these lots), provided all other requirements of this section are fulfilled.

Minimum lot frontage on a public street shall be per the subdivision ordinance.



- d. Lot Depth: The minimum depth of any lot shall be one hundred ten (110) feet, except that a lot along the radius of a cul-de-sac or along street elbows or eyebrows may have a minimum lot depth of one hundred (100) feet, provided all other requirements of this section are fulfilled. The minimum depth for lots backing to the Arterial street shall be 110 feet.
- e. Front Yard: The minimum depth of the front yard shall be twenty-five (25) feet. The front yard may be reduced to twenty (20) feet if side, swing or rear-garage entry housing product is constructed.
- f. Side Yard: Per SF-8 standards. For houses with side, swing or rear entry, the side yard may be reduced to three (3) feet provided the building separation of 12 feet is maintained between houses.
- g. Rear Yard: Per SF-8 standards. The minimum rear yard setback for lots backing to an Arterial street shall be 20 feet.
- h. Minimum Dwelling Size: The minimum gross floor area shall be one thousand eight hundred (1,800) square feet.
- i. Building Height: Buildings shall be a maximum of thirty-six (36) feet or 2½ stories in height.
- j. Building Materials: Per Zoning Ordinance #1085 as amended.
- k. Reeder Lane must be extended to FM 548 with development of Area "E". City shall provide all necessary right-of-way beyond limits of this Planned Development.

#### 1.03.4 Area H and I Single-Family Lots (Base District SF-11)

- a. Lot Area: The minimum area of any lot shall be ten thousand (10,000) square feet. The average lot area shall be ten thousand two hundred fifty (10,250) square feet.
- b. Lot Coverage: In no case shall more than forty-five percent (45%) of the total lot area be covered by the combined area of the main buildings and accessory buildings. Swimming pools, spas, deck, patios, driveways, walks, and other paved areas shall not be included in determining maximum lot coverage.
- c. Lot Width: The minimum width of any lot shall not be less than seventy five (75) feet along the front building line, except that lots within the bulb radius of a cul-de-sac or along the bulb portion of street elbows or eyebrows may use an increased front yard setback of no greater than five additional feet (5') in order to achieve the minimum seventy five (75) foot lot width along the front building line (i.e., front yard setback can be 30' rather than 25' for these lots), provided all other requirements of this section are fulfilled.

Minimum lot frontage on a public street shall be per the subdivision ordinance.

- d. **Lot Depth:** The minimum depth of any lot shall be one hundred twenty (120) feet, except that a lot along the radius of a cul-de-sac or along street elbows or eyebrows may have a minimum lot depth of one hundred ten (110) feet, provided all other requirements of this section are fulfilled. The minimum depth for lots backing to an Arterial street shall be 120 feet.
- e. **Front Yard:** The minimum depth of the front yard shall be twenty-five (25) feet. The front yard may be reduced to twenty (20) feet if side, swing or rear-entry housing product is constructed.
- f. **Side Yard:** Per SF-11 standards. For houses with side, swing or rear entry, the side yard may be reduced to three (3) feet provided the building separation of 12 feet is maintained between houses.
- g. **Rear Yard:** Per SF-11 standards. The minimum rear yard setback for lots backing to an Arterial street shall be 20 feet.
- h. **Minimum Dwelling Size:** The minimum gross floor area shall be two thousand (2,000) square feet.
- i. **Building Height:** Buildings shall be a maximum of thirty-six (36) feet or 2½ stories in height.
- j. **Building Materials:** Per Zoning Ordinance #1085 as amended.

#### 1.03.5 Area J Single-Family Lots (Base District SF-11)

- a. **Lot Area:** The minimum area of any lot shall be eleven thousand (11,000) square feet. The average lot area shall be eleven thousand two hundred fifty (11,250) square feet.
- b. **Lot Coverage:** In no case shall more than forty-five percent (45%) of the total lot area be covered by the combined area of the main buildings and accessory buildings. Swimming pools, spas, deck, patios, driveways, walks, and other paved areas shall not be included in determining maximum lot coverage.
- c. **Lot Width:** The minimum width of any lot shall not be less than seventy-five (75) feet along the front building line, except that lots within the bulb radius of a cul-de-sac or along the bulb portion of street elbows or eyebrows may use an increased front yard setback of no greater than five additional feet (5') in order to achieve the minimum 75' lot width along the front building line (i.e., front yard setback can be 30' rather than 25' for these lots), provided all other requirements of this section are fulfilled.

Minimum lot frontage on a public street shall be per the subdivision ordinance.

- d. Lot Depth: The minimum depth of any lot shall be one hundred twenty (120) feet, except that a lot within the radius of a cul-de-sac or along street elbows or eyebrows may have a minimum lot depth of one hundred ten (110) feet, provided all other requirements of this section are fulfilled. The minimum depth for lots backing to an Arterial street shall be 120 feet.
- e. Front Yard: The minimum depth of the front yard shall be twenty-five (25) feet. The front yard may be reduced to twenty (20) feet if side, swing or rear-entry housing product is constructed.
- f. Side Yard: Per SF-11 standards. For houses with side, swing or rear entry, the side yard may be reduced to three (3) feet provided the building separation of 12 feet is maintained between houses.
- g. Rear Yard: Per SF-11 standards. The minimum rear yard setback for lots backing to an Arterial street shall be 20 feet.
- h. Minimum Dwelling Size: The minimum gross floor area shall be two thousand (2,000) square feet.
- i. Building Height: Buildings shall be a maximum of thirty-six (36) feet or 2½ stories in height.
- j. Building Materials: Per Zoning Ordinance #1085 as amended.

**2.0** Planned Development District ("PD") – General Conditions for Residential areas A-I

2.01 Required Parking: Per the Base Zoning District.

2.02 Landscaping: Each residential lot in Areas A and B shall have solid grass sod, 5-3 gallon shrubs from approved list and one (1), three (3) inch caliper tree installed in the front yard prior to certificate of occupancy. Each residential lot in Areas C, D, E, F, G, H, I and J shall have solid grass sod, 8-3 gallon shrubs from approved list and two (2), three (3) inch caliper tree installed in the front yard prior to certificate of occupancy. Caliper shall be measured as diameter at three (3) feet from ground level.

2.03 Fencing: Residential lot fencing shall be in accordance with the City Fence Ordinance and the Zoning Ordinance. Any private fence facing a public street shall have the wood fence pickets (finished side) located on the street side of the fence support structure.

2.04 Roof Pitch: The roof pitch of the homes shall be a minimum of 6:12.

2.05 Roofing Materials: Roofing materials shall be at least twenty-five (25) year, textured composition (i.e., dimensional) roofing or better with a minimum of ½" roof decking and with a minimum roof overhang of twelve inches (12").

2.06 Mail Boxes: Mail boxes within each village shall be similar in style throughout the village and constructed of masonry or be a custom design (non-masonry)

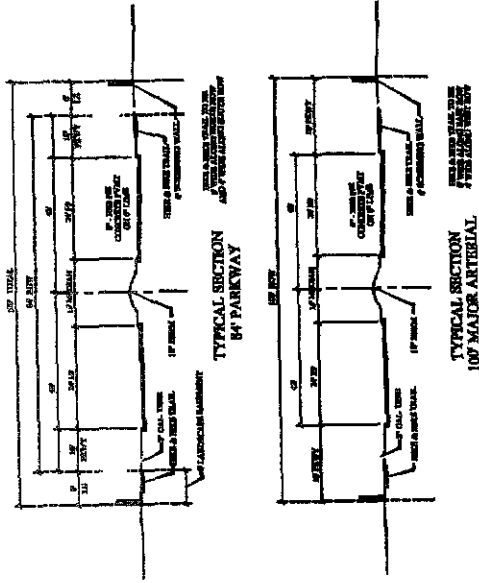
- 2.07 Curvilinear Street Requirement: The PD shall have a curvilinear street pattern as generally illustrated on the attached Concept Plan. Overall street and lot layout may be modified to a reasonable degree at the time of platting and final engineering.
- 2.08 Village Entrance: The developer shall provide a masonry entry feature at each village entry from the Arterial and Parkway street. The village entry street shall include specialty paving at the intersection with the Arterial and Parkway street.
- 2.09 Open Space: Open space shall be provided in Areas A, and B as required in the City of Forney Comprehensive Zoning Ordinance, as amended.
- 2.10 Park Land: Based on the platted units, park land shall be dedicated at the time of platting. The park land areas are generally shown on the Concept Plan.
- 2.11 Walkways: The home builders, per the Subdivision Ordinance (as amended) shall construct sidewalks and barrier-free ramps in front of individual lots. Perimeter sidewalks / trails shall be constructed by the developer (except as provided in Section 2.12 below) in accordance with Subdivision Ordinance as amended.
- 2.12 Hike/Bike Trail: An 8 foot wide meandering hike/bike trail shall be constructed on the north side and a 4 foot meandering sidewalk shall be constructed on the south side of the Arterial street at the time of development of the adjacent land. An 8 foot wide meandering hike/bike trail shall be constructed on the east side and a 4 foot meandering sidewalk shall be constructed on the west side of the Parkway street at the time of development of the adjacent land.
- 2.13 Screening Along State Highway 80: Along SH 80 where residential lots back or side to the right of way, a 6 foot tall masonry screening wall shall be constructed at the time of development of the adjacent subdivision. Landscaping along the screening wall shall consist of 3-inch caliper overstory trees spaced at 35 feet with tree irrigation.
- 2.14 Screening Along Arterial, Parkway and Reeder: The developer shall provide, at the time of development of the adjacent property, a minimum six-foot (6') tall uniform, stained cedar, board on board with top cap wood fence with masonry columns at 40-ft centers, with galvanized steel posts at maximum ten-foot (10') spacing in between the masonry columns, and with the finished (i.e., board) side of the fence facing the street. The stained cedar fence shall not exceed 60% of the total length of the right of way along the Arterial and Parkway street. The balance of the screening shall be masonry. The fence along Reeder Road shall be 100% masonry. The parkways shall be irrigated and the landscaping shall be comprised of a 3" overstory caliper trees. One tree per 50 linear foot of right-of-way shall be provided and the trees may be grouped.
- 2.15 Homeowners Association (HOA): A HOA shall be established to maintain private common area improvements identified within this ordinance and shown on the Concept Plan/Land Study, including open space areas, street medians, screening fences and landscaping along the Arterial and Parkway street. The HOA shall also maintain the retention area and the area between the screening wall along SH 80 and the TxDOT right of way. The association shall be established prior to the approval of the final plat

for the initial phase of development, and the association documents (e.g., articles of incorporation, bylaws, CCRs, etc.) shall be reviewed and approved by the City in accordance with Section 4.3 of the City's Subdivision Ordinance, as amended.

- 2.16 Street Connections: Street connections shall be provided to Windmill Farms as shown on the concept plan.
- 2.17 Signage: All project signage shall be per the City's signage regulations, as amended.
- 2.18 Screening between Nonresidential and residential: Screening between nonresidential and residential uses will be the responsibility of the nonresidential user (Per the Zoning Ordinance)
- 2.19 Decorative street lights and street signs: Street lights in villages shall be decorative with street signs subject to approval by City and Utility co
- 2.20 Intersection of Arterial and Parkway Street. At the intersection of the Arterial and Parkway street, there shall be specialty paving, masonry and landscaping. The masonry screening shall extend a minimum of 100 feet in all directions from the intersection.
- 2.21 House Facade or Elevation: The facade or elevation shall not repeat without at least four intervening homes of different facade or elevation.
- 2.22 Two Story House: A minimum of 60% of the air conditioning space shall be on the ground floor. Two of the exterior walls may extend vertically in the same plane.
- 2.23 Garage orientation at Village Entry: The garage doors on lots at village entries from the Arterial or Parkway street shall not face the Arterial or Parkway street.

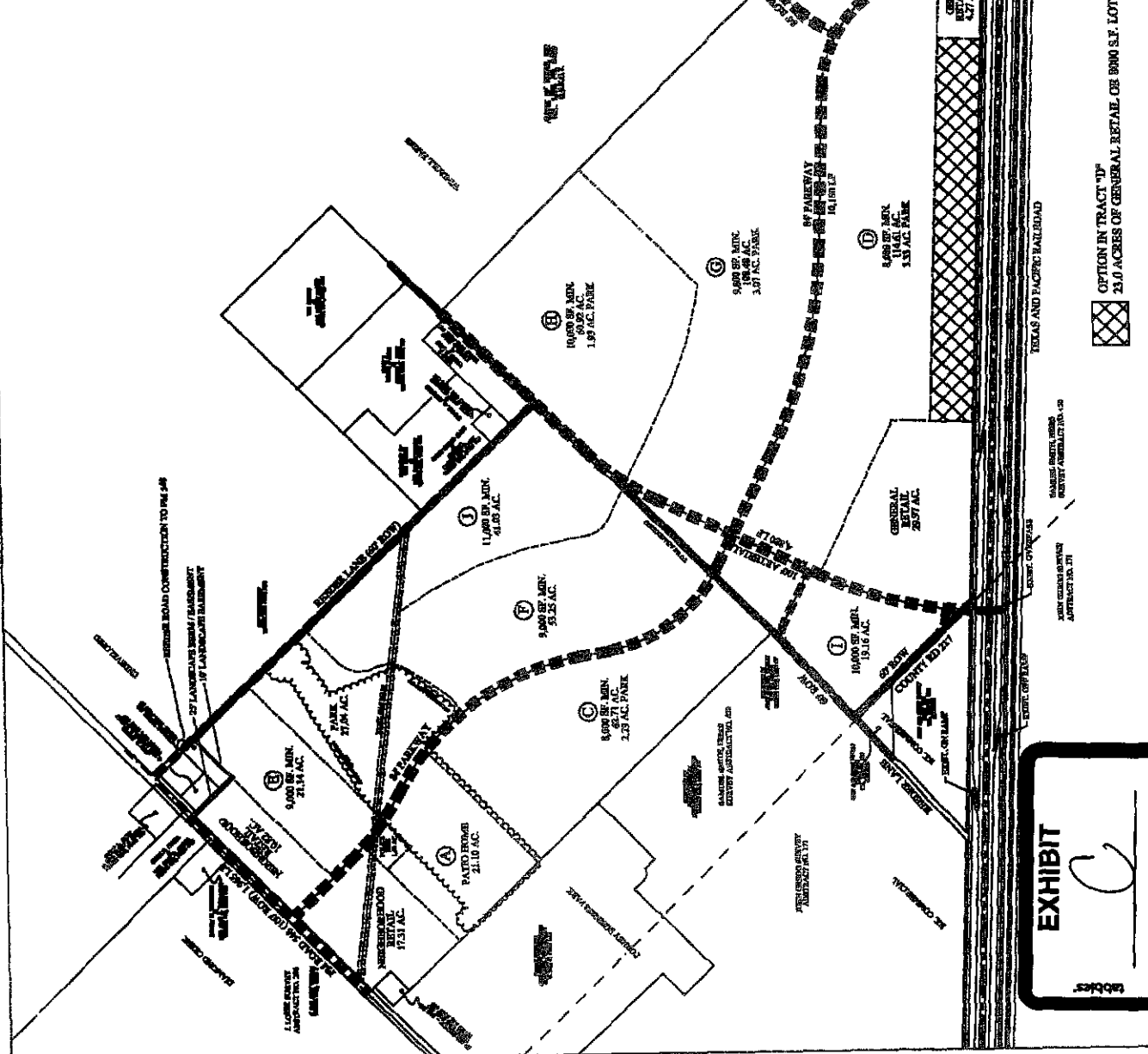
### 3.0

- 3.01 Development of the MF, NS and GR areas shall be in accordance with the City's Zoning Ordinance (both as amended) and with any other applicable City Ordinance / code, that pertains to each of these respective base zoning districts.



**LAND USE DATA:**

GROSS ACRES	= 662.86
11,000 SF	= 41.03
9,000 SF	= 86.08
8,000 SF	= 182.87
7,000 SF	= 177.32
PATIO HOME	= 46.28
MULTI-FAMILY	= 33.45
RETAIL	= 73.19
POLICE/FIRE	= 1.60
PARK	= 27.04



**EXHIBIT**  
C

**LAND ADVISORS, LTD.**  
10000 WEST LOOP SOUTH  
SUITE 1000  
HOUSTON, TEXAS 77042  
TEL: 770-410-1111  
FAX: 770-410-1112

**ZONING EXHIBIT**  
MEADOW RIDGE FARM  
CITY OF FORTNEY, TEXAS

OPTION IN TRACT 'D'  
23.0 ACRES OF GENERAL RETAIL OR 6900 S.F. LOTS

TEXAS AND PACIFIC RAILROAD

LANDS ACQUISITION  
APPROXIMATE 2011

