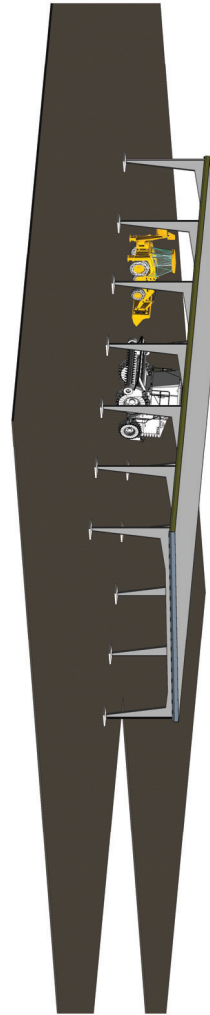


VALFAIR CONSTRUCTION

501 E. HIGHWAY 80
FORNEY, TX 75126



GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND ALL STATE AND LOCAL ORDINANCES AND REGULATIONS.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING OF CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION NOTICES ACCEPTANCE OF EXISTING CONDITIONS IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NEEDED TO COMPLETE THE WORK SHOWN OR REFERENCED ON DRAWINGS AND NOT LIMITED TO THE SPECIFIC METHODS OR MATERIALS SHOWN OR REFERENCED.
3. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE DESIGN TEAM OF ANY DISCREPANCIES IMMEDIATELY.
4. ALL ITEMS NOT NOTED AS EXISTING SHALL BE TO BE CONSIDERED NEW.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PILING RUNS WITH MECHANICAL CONTRACTOR BEFORE PILING WALLS, FLOORS, ETC.
6. PROVIDE AND MAINTAIN ACCESSWAYS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PILING WALLS, ETC.
7. PROVIDE (1) A 60" O.C. FIRE EXTINGUISHERS AT 30' TO 4' A.F.F. WITH SIGNAGE SO THAT THE MAXIMUM TRAVEL FROM ANY POINT EXISTING THROUGH CONSTRUCTION NOT NORMALLY REQUIRED TO BE RE-EVALUATED AS A HAZARD OF THE DESIGN SHALL BE RE-EVALUATED AND APPROVED PRIOR TO THE COMPLETION OF THE PROJECT.
8. THE GENERAL CONTRACTOR SHALL FURNISH COMPLETE FIRE SPRINKLER PLANS THAT INDICATE THE LOCATION & SIZE OF ALL RISERS, SIGNAL LINES, SHIELD ASPECT OF THE RISERS, SIGNALS, BRANCHES, ENDS AND CONTROL VALVES, AND SHALL BE IN COMPLIANCE WITH CODE PRIOR TO CONSTRUCTION.
9. EXIT DOORS SHALL BE OPENED TO THE EXTERIOR WITHIN 7' OF THE DOOR ON THE EXTERIOR SIDE AND SHALL BE OPENED TO THE EXTERIOR WITHIN 10' OF THE DOOR ON THE INTERIOR SIDE.
10. EXISTING OR NEW WINDOW MATERIALS MUST BE SET ON EXISTING WINDOW MARKERS AS SET FORTH BY THE ARCHITECT AND SHALL BE OPENED TO THE EXTERIOR WITHIN 7' OF THE DOOR ON THE EXTERIOR SIDE.
11. GLAZING WITHIN 24 INCHES OF EITHER SIDE OF ANY DOOR OR GREATER THAN 9'0" IN AREA WITH A LATCHING EDGE LESS THAN 18 INCHES ABOVE (AND HORIZONTALLY WITHIN 18 INCHES) OF A WALKING SURFACE SHALL BE SAFETY GLAZED.
12. GLAZING WITHIN 24 INCHES OF EITHER SIDE OF ANY DOOR OR GREATER THAN 9'0" IN AREA WITH A LATCHING EDGE LESS THAN 18 INCHES ABOVE (AND HORIZONTALLY WITHIN 18 INCHES) OF A WALKING SURFACE SHALL BE SAFETY GLAZED.
13. GLAZING WITHIN 24 INCHES OF EITHER SIDE OF ANY DOOR OR GREATER THAN 9'0" IN AREA WITH A LATCHING EDGE LESS THAN 18 INCHES ABOVE (AND HORIZONTALLY WITHIN 18 INCHES) OF A WALKING SURFACE SHALL BE SAFETY GLAZED.
14. ONE HOUR FIRE RESISTANT COMPONENTS TO HAVE 20 MINUTE RATED DOOR ASSEMBLY WITH GROUND SEALS & SEAL COVERS AND 45 MINUTE RATED DOUBLE WINDOW ASSEMBLIES.
15. ALL FIRE RATED GLASS AND WINDOW ASSEMBLIES SHALL BE INSTALLED WITH THE ACCORDANCE OF THE 2019 IBC.
16. THE DESIGN TEAM'S APPROVAL OF SHOP DRAWINGS AND SPECIFICATIONS DOES NOT RELIEVE THE GENERAL SUB CONTRACTOR FROM RESPONSIBILITY FOR CHECKING SHOP DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING SHOP DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS AND GENERAL NOTES SHALL APPLY WHERE APPLICABLE.

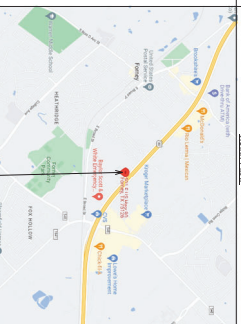
SYMBOL / LEGEND	DESCRIPTION
	CONCRETE
	INSULATION
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL

SHEET NUMBER	SHEET NAME	DATE	REV. #
GEN001	COVER SHEET	06-23-2022	
C-1	CIVIL	06-23-2022	
C-2	METALS	06-23-2022	
C-3	MECHANICAL/ELECTRICAL/PLUMBING	06-23-2022	
ARCHIT01	ARCHITECTURAL	06-23-2022	
ME01	MECHANICAL	06-23-2022	
E01	ELECTRICAL	06-23-2022	
P01	PLUMBING	06-23-2022	
STRUC01	STRUCTURAL	06-23-2022	
ME02	METALS	06-23-2022	
E02	ELECTRICAL	06-23-2022	
P02	PLUMBING	06-23-2022	
STRUC02	STRUCTURAL	06-23-2022	
E03	ELECTRICAL	06-23-2022	
P03	PLUMBING	06-23-2022	
STRUC03	STRUCTURAL	06-23-2022	
ME03	METALS	06-23-2022	
E04	ELECTRICAL	06-23-2022	
P04	PLUMBING	06-23-2022	
STRUC04	STRUCTURAL	06-23-2022	

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CONCRETE		INSULATION
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL
	MECHANICAL ELECTRICAL		MECHANICAL ELECTRICAL

PROJECT LOCATION



TEAM INFORMATION

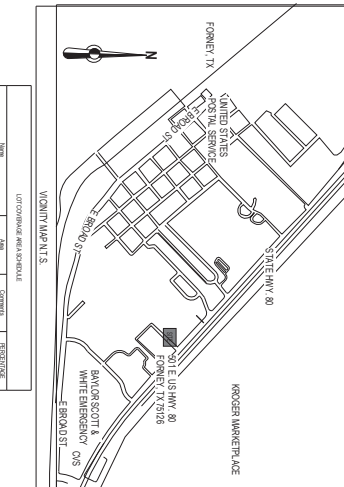
OWNER:	VALFAIR CONSTRUCTION
	7702 N. DAVIDSON ST.
	FORNEY, TX 75126
ARCHITECT:	LANDSCAPE ARCHITECT
	RICHO D. BETTY
	7702 N. DAVIDSON ST.
	FORNEY, TX 75126
MECHANICAL/ELECTRICAL/PLUMBING ENGINEER:	ENCL. LAWNS ENGINEERING, INC.
	1201 E. MAIN ST.
	FORNEY, TX 75126
STRUCTURAL ENGINEER:	ENCL. LAWNS ENGINEERING, INC.
	1201 E. MAIN ST.
	FORNEY, TX 75126



NOTES:

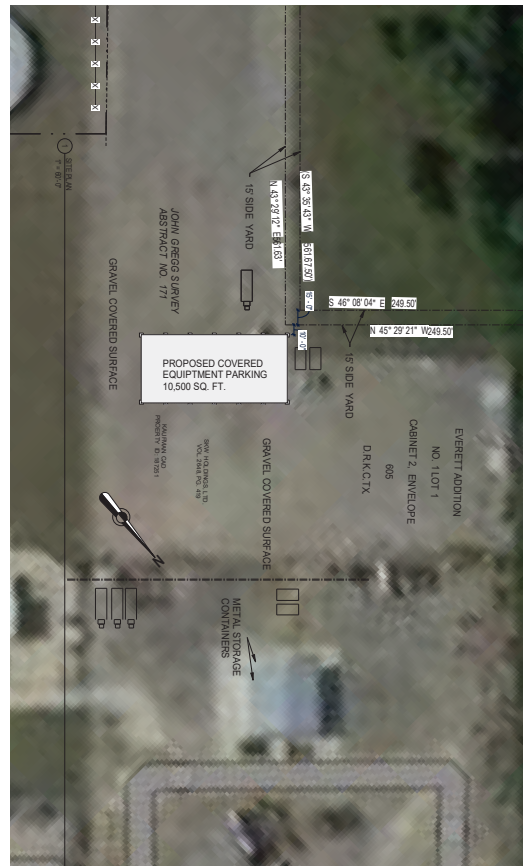


LEGAL DESCRIPTION	LOT 14 BLOCK 1, EVERETT ADDITION
TRACT 1, 842 ACRES	
ZONING: C-1 RETAIL	
STRUCTURE HEIGHT: 20' 3"	
PROPOSED USE: PARKING, WAREHOUSE STORAGE	
MATERIAL	WELDED STEEL
JOINT	GALVANNEAL
FINISH	CONCRETE



NOTE: FENCING IS PLANNED FOR FUTURE DEVELOPMENT SHOWN PERMIT TYPE COORDINATE WITH THE FIRE DEPARTMENT FOR KNOCK BOX OR OTHER REQUIREMENTS. TYP.

PERMITTED AREA		AREA TO BE EXCLUDED
EXISTING BUILDING	35,000	0
EXISTING DRIVE	10,000	0
EXISTING LOT	10,000	0
EXISTING UTILITIES	10,000	0
EXISTING FENCES	10,000	0
EXISTING TOTAL	75,000	0
PROPOSED DRIVE	10,000	0
PROPOSED LOT	10,000	0
PROPOSED UTILITIES	10,000	0
PROPOSED FENCES	10,000	0
PROPOSED TOTAL	40,000	0
TOTAL		115,000
EXISTING TOTAL	75,000	0
PROPOSED TOTAL	115,000	0



PROPOSED COVERED EQUIPMENT PARKING 10,500 SQ. FT.

GRAVEL COVERED SURFACE

GRAVEL COVERED SURFACE

METAL STORAGE CONTAINERS

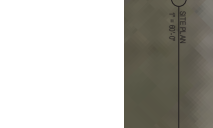
EVERETT ADDITION NO. 11071 CABINET 2, ENVELOPE 605 D.R.K. CTX

JOHN GREGG SLAVEY ASSY. TRACT NO. 177

- GENERAL NOTES
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED BUILDING FOOTPRINT AS DETERMINED BY THE AREA AND ZONING OF THE PROJECT.
 - DIMENSIONS, SETBACKS, EASEMENTS, VARIATIONS, AND ANY OTHER INFORMATION SHOWN HEREIN SHALL BE PERMITTED A PERMITTING AGENCY AND NOT FOR CONSTRUCTION ACCORDING TO LOCAL ORDINANCES WITH LOCAL CODES AND ORDINANCES.
 - OWNER'S SITE REPRESENTATIVE REPRESENTING THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.
 - ALL UTILITIES ARE APPROXIMATE; THE OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION.
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LEGAL DESCRIPTION	LOT 14 BLOCK 1, EVERETT ADDITION
TRACT 1, 842 ACRES	
TEAM INFORMATION	OWNER: ADVANCED FABRICATIONS STORAGE ADDRESS: 11071 CABINET 2, ENVELOPE 605 D.R.K. CTX, FORTNEY, TX 75126 PH: 409-754-0982 OWNER REPRESENTATIVE: JOHN GREGG SLAVEY, ASSY. TRACT NO. 177, 11520 W. MAIN ST., FORTNEY, TX 75126 ARCHITECT: BOWMAN CONSULTING GROUP INC., 401 FINNON ROAD, FORTNEY, TX 75126 REGISTERED PROFESSIONAL ENGINEER: STEVE W. WILSON, 11520 W. MAIN ST., FORTNEY, TX 75126 PHONE: 409-754-0982 PROJECT NO.: 07-20-2022
SUMMARY OF WORK	NEW CONSTRUCTION OF PRE-ENGINEERED METAL BUILDING FOR WAREHOUSE STORAGE. PROJECT INCLUDES FOUNDATION, STRUCTURAL STEEL, ROOFING, MECHANICAL, ELECTRICAL, PIPING, AND EXTERIOR IMPROVEMENTS.
BUILDING CODE	• 2018 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS • 2018 INTERNATIONAL FIRE CODE (IFC) WITH LOCAL AMENDMENTS • 2018 INTERNATIONAL MECHANICAL CODE (IMC) WITH LOCAL AMENDMENTS • 2018 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS • 2017 NATIONAL ELECTRICAL CODE (NEC) WITH LOCAL AMENDMENTS • 2017 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) • 2017 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS • CITY/ COUNTY ORDINANCES • APPROPRIATE LOCAL AND STATE LAWS AND REGULATIONS • 2017 TEXAS ACCESSIBILITY STANDARDS AND ALL APPLICABLE FEDERAL REGULATIONS
PARKING REQUIREMENTS	PARKING REQUIREMENT: 1,000 OFFICE PARKING REQUIREMENT: 1,500 WAREHOUSE OFFICE: 1,000 SPACES WAREHOUSE: 1,500 SPACES TOTAL: 2,500 SPACES REQUIRED PARKING: 2,500 PROVIDED PARKING: 2,500 PROVIDED ADA PARKING: 2



VALFAIR CONSTRUCTION
STEEL BUILDING DIVISION

501 E. HIGHWAY 80
FORTNEY, TX 75126

PH: 409-754-0982

WWW.VALFAIRCONSTRUCTION.COM

REGISTERED PROFESSIONAL ENGINEER

STEVE W. WILSON
NO. 11520 W. MAIN ST.
FORTNEY, TX 75126
PH: 409-754-0982

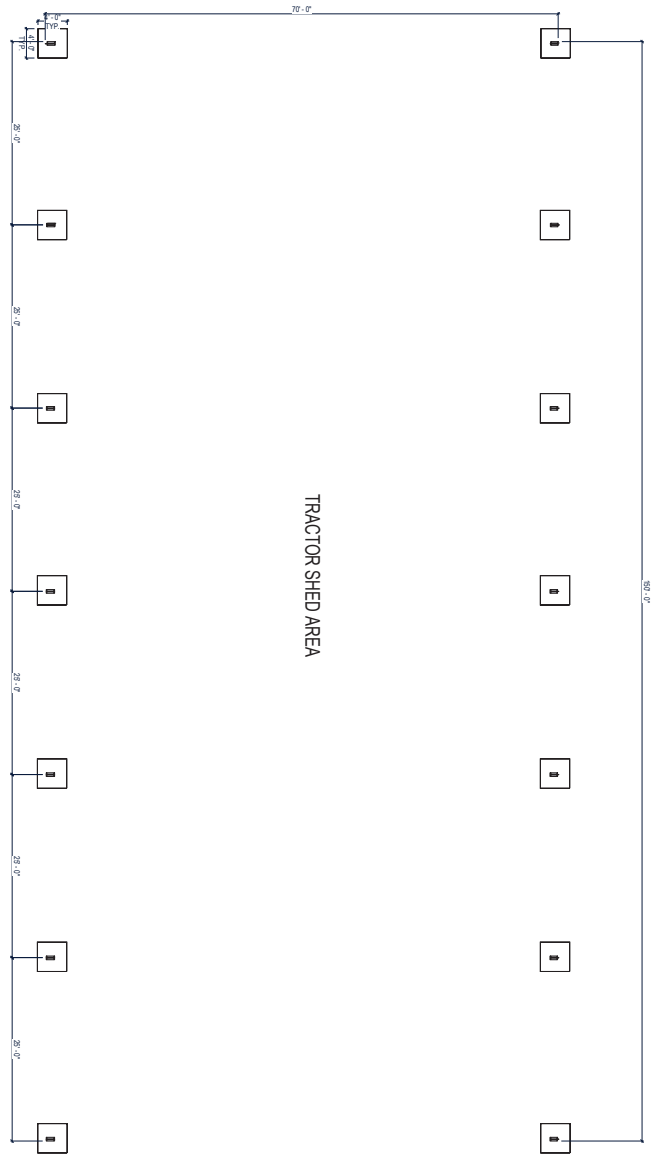
ARCHITECTURAL SITE PLAN

Scale: As Shown

Project number	ARC-20-0019
Date	08-22-2022
Drawn by	BSJG
Checked by	CHECKER

A-1.1

CONSTRUCTION
1/8" = 1'-0"



TRACTOR SHED AREA

FORMING PLAN	
Project number	ARC-20-0019
Date	08-22-2022
Drawn by	Author
Checked by	Checker

VALFAIR CONSTRUCTION
STORAGE BUILDING ZONING: C-1 RETAIL
DISTRICT

501 E. HIGHWAY 80
FORNEY, TX 75126

Scale: 1/8" = 1'-0"
A-2.1

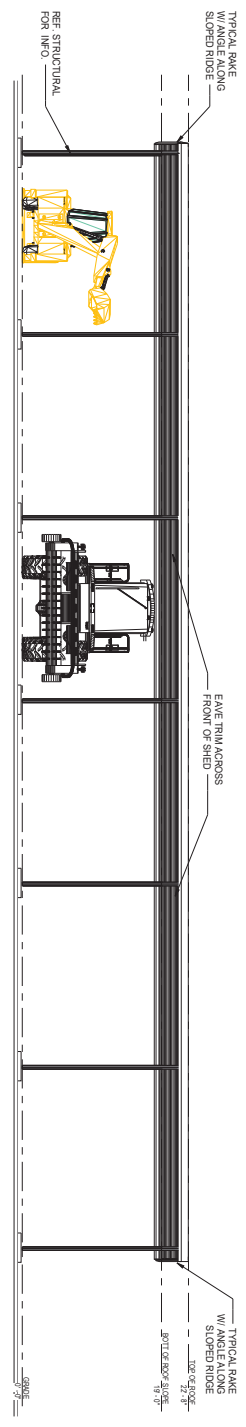
NOTES:
07-09-2022



4011 Fission Road
Forney, TX 75126
www.bsddesigning.com

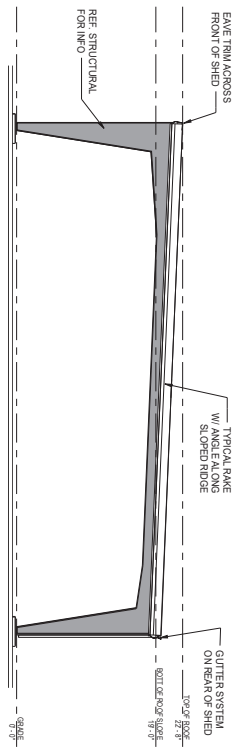
BSDG



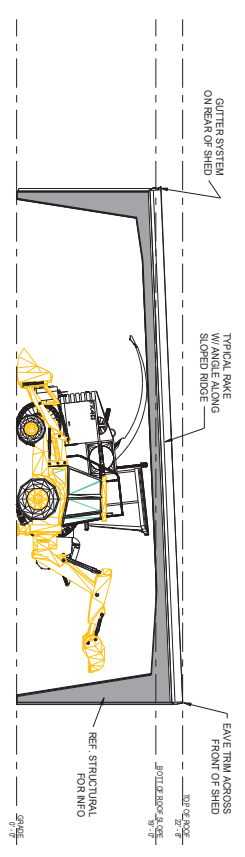


NOTE:
REFER TO P.E.M.B. DRAWINGS FOR ALL DIMENSIONS AND SPECIFICATIONS

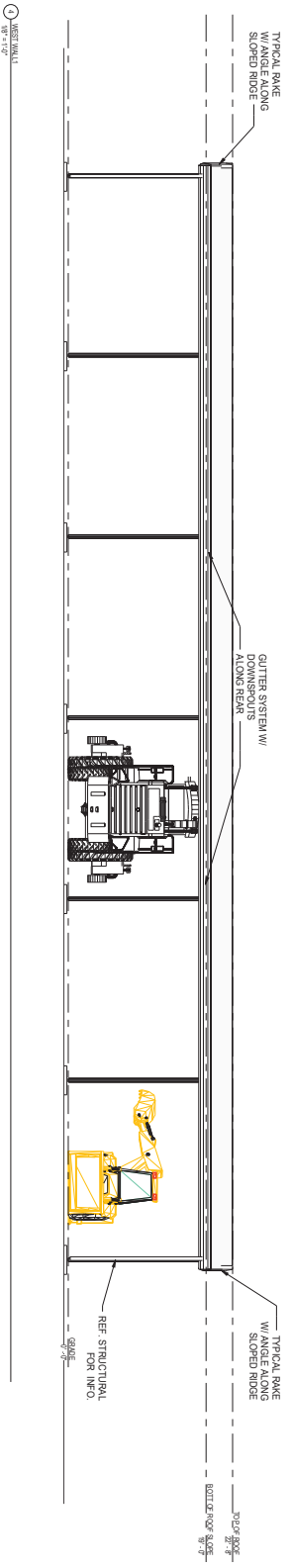
① WEST WALL
1/8" = 1'-0"



② NORTH WALL
1/8" = 1'-0"



③ SOUTH WALL
1/8" = 1'-0"



④ WEST WALL
1/8" = 1'-0"

Scale: As Shown

PROJECT NUMBER: ARC-20-0019
DATE: 08-22-2022
DRAWN BY: BSDG
CHECKED BY: Checker

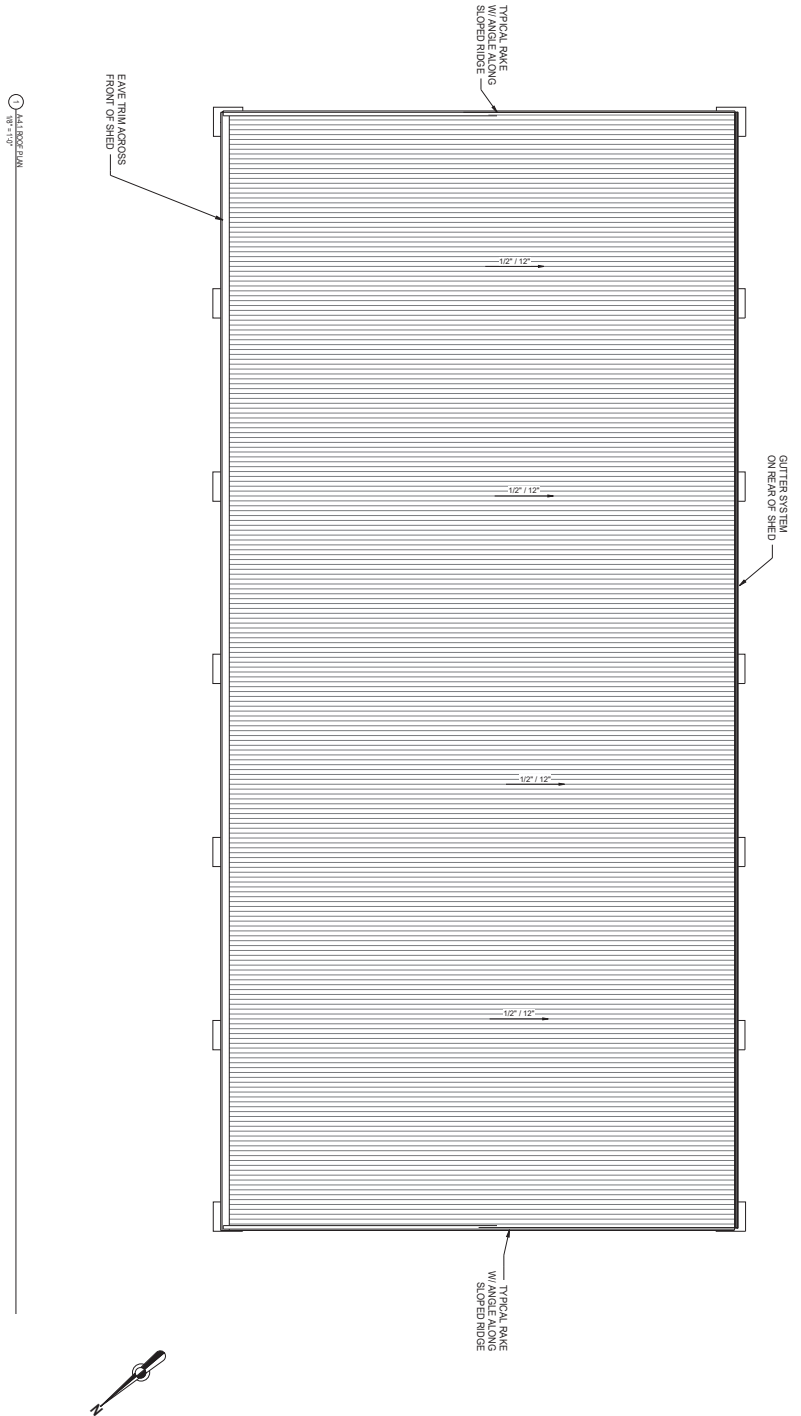
VALFAIR CONSTRUCTION, DISTRICT
501 E. HIGHWAY 80
FORNEY, TX 75126

NOTES:
07-09-2022

BSDG
401 Iron Road
Forney, TX 75126
www.bsdgtx.com

EXTERIOR ELEVATIONS

A-3.1



○ 1/4" = 1'-0"



Scale: As Indicated	ROOF PLAN A-4.1	VALFAIR CONSTRUCTION STORAGE BUILDING ZONING: C-1 RETAIL DISTRICT 501 E. HIGHWAY 80 FORTNEY, TX 75126	NOTES: 07-09-2022 <div style="text-align: right;">  </div>								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">Project number</td> <td>ARC-20-0019</td> </tr> <tr> <td>Date</td> <td>08-22-2022</td> </tr> <tr> <td>Drawn by</td> <td>BSDG</td> </tr> <tr> <td>Checked by</td> <td>Checker</td> </tr> </table>		Project number	ARC-20-0019	Date	08-22-2022	Drawn by	BSDG	Checked by	Checker	<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  BSDG 401 Finson Road Fortney, TX 75126 www.bsdldesigning.com </div> </div>	
Project number	ARC-20-0019										
Date	08-22-2022										
Drawn by	BSDG										
Checked by	Checker										