

L. REED ELAM AND WIFE,  
(VOL. 4551, PG. 463)  
O.P.R.K.C.T.

INGRESS AND ACCESS EASEMENT  
(VOL. 4397, PG. 299)  
O.P.R.K.C.T.

CALLLED 15.0134 ACRES  
JACKRABBIT VENTURES, L.P.  
(VOL. 2021, PG. 380)  
O.P.R.K.C.T.

**FARM TO MARKET ROAD ROAD 1641**  
(VARIABLE WIDTH RIGHT-OF-WAY)  
(VOL. 355, PG. 167)  
D.R.K.C.T.

JOE MOSPADDEN AND  
KAREN MOSPADDEN  
(VOL. 8746, PG. 443)  
O.P.R.K.C.T.

CALLLED 21.138 ACRES  
JACKRABBIT VENTURES, LP  
(VOL. 6564, PG. 597)  
O.P.R.K.C.T.

Abstract Hayer Survey  
Abstract No. 203

LINDEN STEEL, L.P.  
(VOL. 5321, PG. 325)  
O.P.R.K.C.T.

ROBERT A. HEROLD AND  
KATHRIN J. HEROLD  
(VOL. 4911, PG. 540)  
O.P.R.K.C.T.

WATER OF LIFE EVANGELICAL  
LUTHERAN CHURCH OF FORTNEY TEXAS  
(VOL. 3659, PG. 60)  
O.P.R.K.C.T.

P.O.B.  
N. 6953168.37  
E. 2609220.73

N 44°28'41" E 887.74'  
S 44°28'41" W 2185.75'  
E 347.79'  
N 04°16'09" W 66.51'

MATCH LINE - SEE SHEET 2

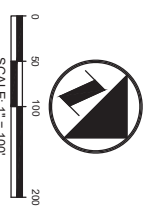
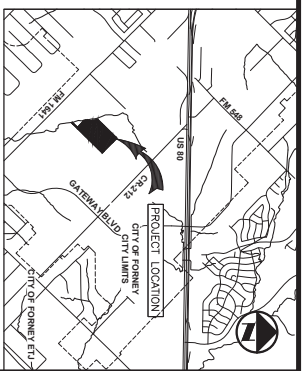
**GENERAL NOTES:**

- Bearings are based on the Texas State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, adjustment realization 2011, with an applied combined scale factor of 1.00014077.
- Coordinates shown hereon are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on grid coordinate values, no scale and no projection.
- The floodplain boundaries are not depicted hereon. The subject tract lies within Zone X, which is a special flood hazard area. The Flood Hazard Insurance Study Report, Incorporated Areas, Map Number 4857C0175D with Map Revised date July 3, 2012.
- Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
- Sealing a portion of this addition by means and found is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
- The owner of the land dedicated by this plat reserves the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for utilities included but not limited to the right to place surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting.
- The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions, and conditions of the separate instrument.

**FIRE LANES**

The undersigned does hereby covenant and agree that he (they) shall construct upon the subject premises fire lanes, and shall maintain the same in accordance with the standards with the City of Fortney's, parking standards for fire lanes, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the fire lanes. The undersigned shall be responsible for the maintenance and repair of the fire lanes. It is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for the operation and emergency use.

The area or areas shown on the plat as "Drainage and Detention Easement" shall remain in the original condition, and shall be used for drainage and detention purposes only. The area or areas shown on the plat as "Drainage and Detention Easement" shall remain in the original condition, and shall be used for drainage and detention purposes only. The City will not be responsible for the maintenance and operation of the drainage facilities within the Drainage and Detention Easement, unless approved by the Director of Engineering Services. Each property owner shall keep the portion Drainage and Detention Easement (hereinafter referred to as "Drainage and Detention Easement") free and clear of any structures, fences, trees, shrubs, or other impediments which would impede the flow of water through the Drainage and Detention Easement. The City reserves the right to investigate, survey, construct and maintain a drainage facility deemed necessary for drainage purposes. The minimum finished floor elevation for each lot shall be as shown on the plat.



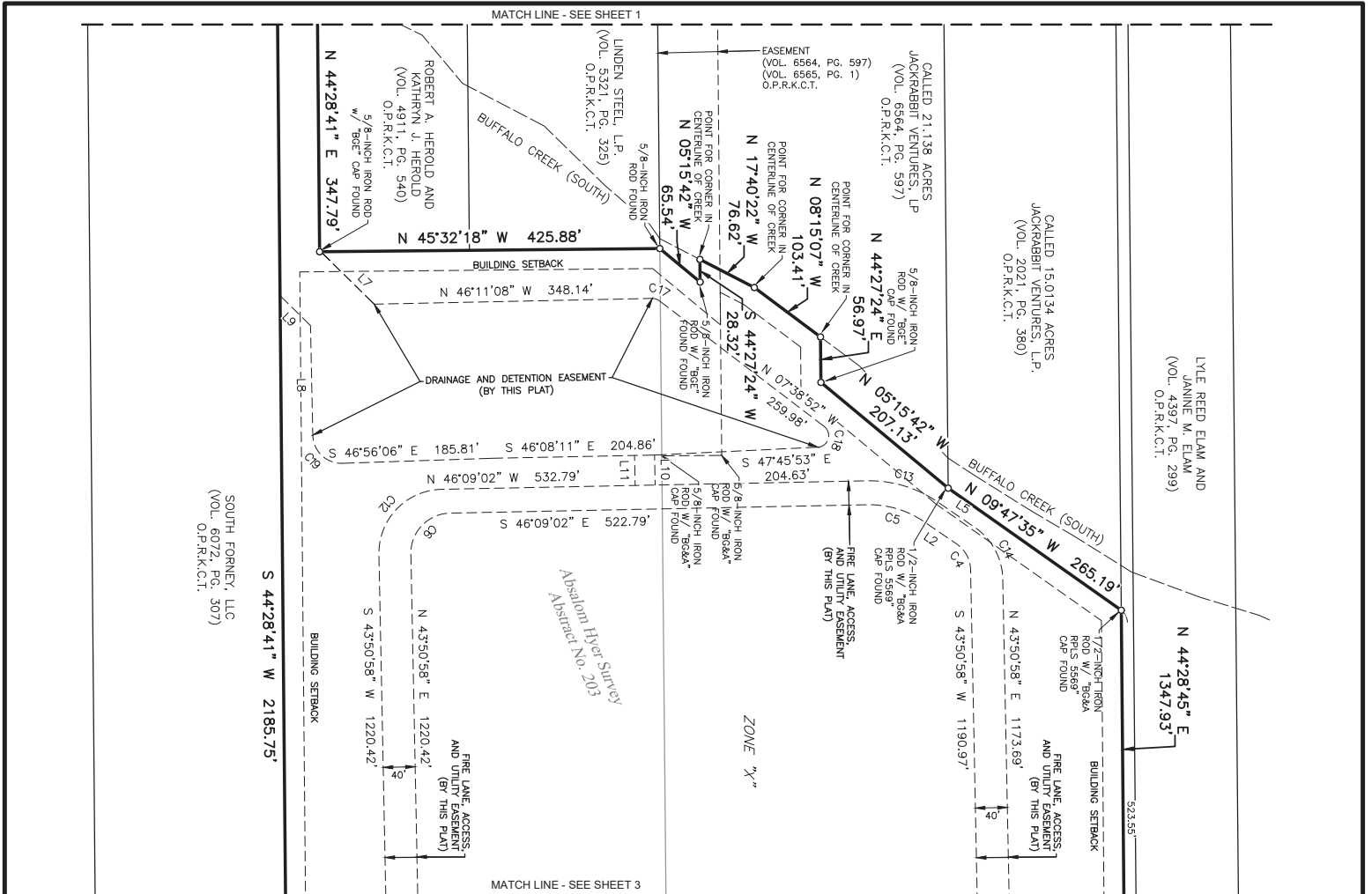
**FINAL PLAT**  
LOT 1, BLOCK 1  
**PLATFORM 80-20 ADDITION II**  
BEING 40.823 ACRES OUT OF THE  
ABSALOM HYER SURVEY, ABSTRACT NO. 203  
KAUFMAN COUNTY, TEXAS  
AUGUST 2022  
SHEET 1 OF 6

**DEVELOPER**  
INTREPID EQUITY INVESTMENTS  
4131 Snowwood Springs Road  
Suite 64  
Austin, Texas 78756  
Contact: Tyler Wood  
Phone: 214-969-9202



**BGE, Inc.**  
2399 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TBEELS Registration No. 101939953  
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Contact: Mark Pearce, R.P.L.S.  
Email: mpearce@bgeinc.com

Telephone: 972-464-4894 • Email: mpearce@bgeinc.com



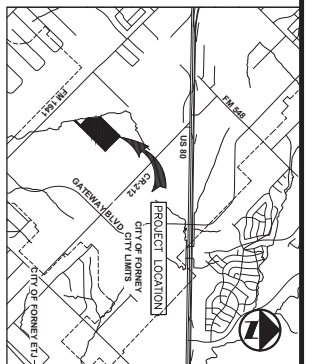
**GENERAL NOTES:**

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- Coordinates shown hereon are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 or grid coordinate values, no scale and no projection.
- The floodplain boundaries are not depicted hereon. The subject tract lies within Zone X, which is an area of special flood hazard. The Flood Insurance Rate Map (FIRM) Incorporated Areas, Map Number 4857C0175D with Map Revised date July 3, 2012.
- Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
- Setting a portion of this addition by means and bound is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
- The owner of the land dedicated by this plat reserves the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for utilities, included but not limited to the right to place surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting.
- The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions, and conditions of the separate instrument.

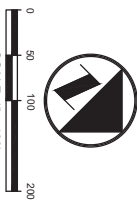
**FIRE LANES**

The undersigned does hereby covenant and agree that he (they) shall construct upon the subject premises, and upon the easement areas shown hereon, fire lanes in accordance with the City of Forney's zoning standards for the areas, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstructions, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the fire lanes. The undersigned shall also be responsible for the maintenance and repair of the fire lanes. The responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for the department and emergency use.

The area or areas shown on the plat as "Drainage and Detention Easement" shall remain unobstructed at all times for the purpose of drainage and detention. The City will not be responsible for the maintenance and operation of the drainage facilities within the Drainage and Detention Easement or for any damage to property or person that results from conditions within the Drainage and Detention Easement. No destruction to the natural flow of water or to the drainage facilities within the Drainage and Detention Easement shall be permitted. The undersigned shall keep the portion Drainage and Detention Easement (hereinafter "Drainage and Detention Easement") free and clear of any structures, fences, trees, shrubs, or other improvements or obstructions, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the drainage and detention facilities. The undersigned shall be responsible for the maintenance and repair of the drainage and detention facilities. The undersigned shall also be responsible for the maintenance and repair of the drainage and detention facilities. The undersigned shall also be responsible for the maintenance and repair of the drainage and detention facilities. The undersigned shall also be responsible for the maintenance and repair of the drainage and detention facilities.



**VICINITY MAP**  
(NOT TO SCALE)



- LEGEND**
- (CM) CONTROLLING MONUMENT
  - NO. NUMBER
  - P.G. PAGE
  - P.O.B. POINT OF BEGINNING
  - VOL. VOLUME
  - D.R.K.C.T. DEED RECORDS KAUFMAN COUNTY, TEXAS
  - O.P.R.K.C.T. OFFICIAL PUBLIC RECORDS KAUFMAN COUNTY, TEXAS
  - PROPERTREE LINE
  - EXISTING EASEMENT LINE

**FINAL PLAT**  
**LOT 1, BLOCK 1**  
**PLATFORM 80-20 ADDITION II**  
 BEING 40.823 ACRES OUT OF THE  
 ABSALOM HYER SURVEY, ABSTRACT NO. 203  
 KAUFMAN COUNTY, TEXAS  
 AUGUST 2022  
 SHEET 2 OF 6

**DEVELOPER**

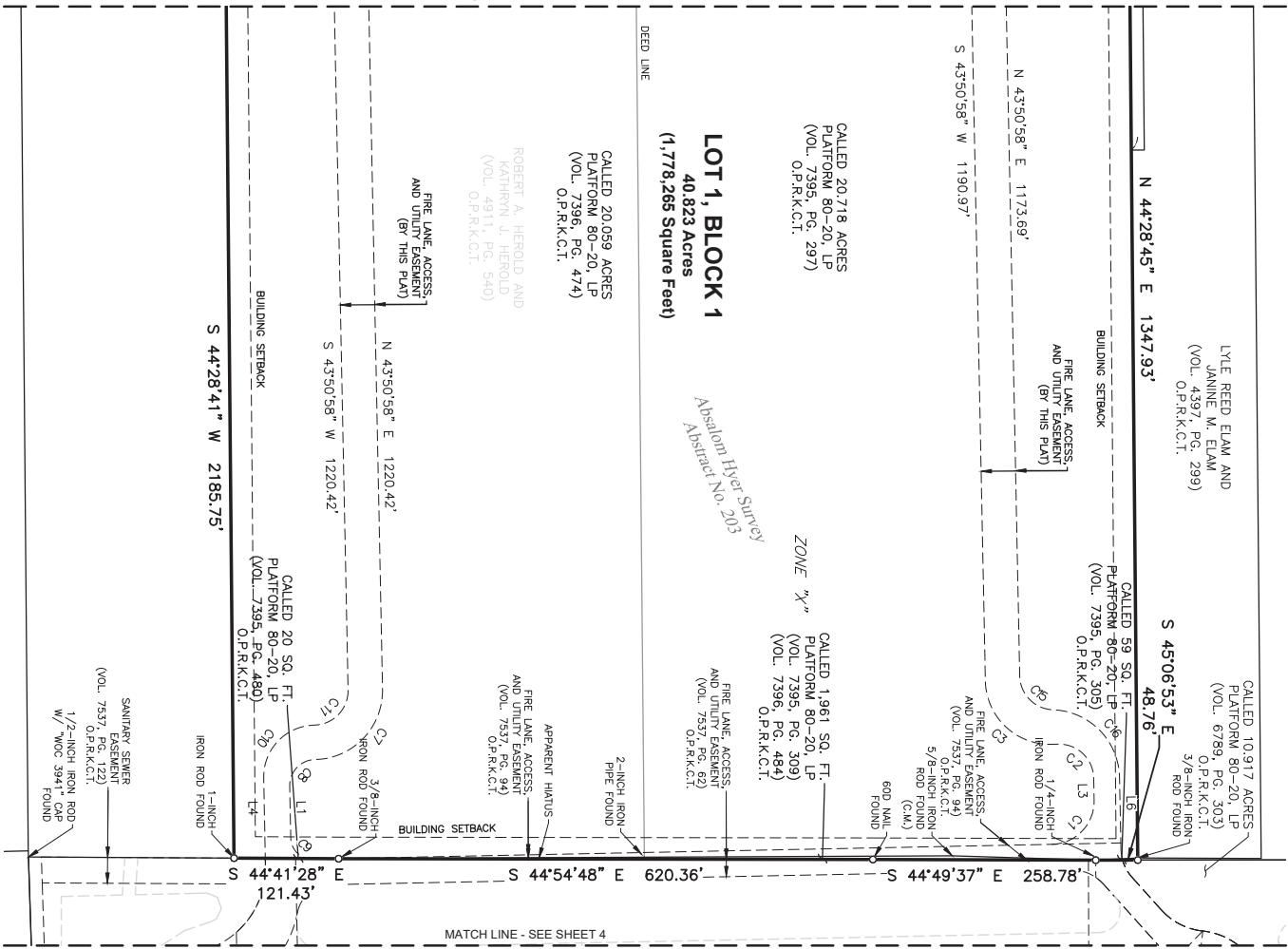
**INTREPID EQUITY INVESTMENTS**  
 4131 Spokewood Springs Road  
 Suite 54  
 Austin, Texas 78756  
 Contact: Tyler Wood  
 Phone: 214-963-9262

**SURVEYOR**

**BGE, Inc.**  
 2395 Dallas Parkway, Suite 101, Frisco, TX 75034  
 Tel: 972-464-4800 • www.bgeinc.com  
 TPELS Registration No. 10193953  
 Contact: Mark Pezera, R.P.L.S.  
 Email: mpezera@bgeinc.com  
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MATCH LINE - SEE SHEET 2

MATCH LINE - SEE SHEET 4



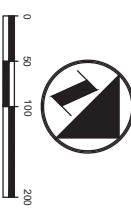
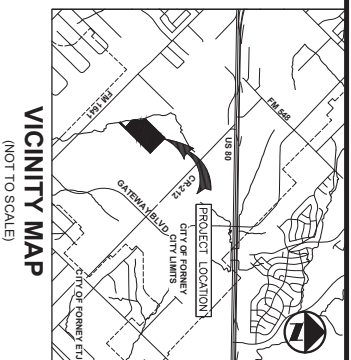
**GENERAL NOTES:**

1. Bearings are based on the Texas State Plane Coordinate System, Texas North Central Zone 4302, North American Datum of 1983, adjustment realization 2011, with an applied combined scale factor of 1.00014077.
2. Coordinates shown hereon are Texas State Plane Coordinate System, North Central projection.
3. The floodhazard boundaries are not depicted hereon. The subject tract lies within Zone X floodhazard area, as shown on the Flood Hazard Boundary Map of Kaufman County, Texas, Incorporated Years, Map Number 4857C0175D with Map Revised date July 3, 2012.
- Zone X - Areas determined to be outside the 0.2% annual chance floodhazard.
4. Siting a portion of this addition by means and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
5. The owner of the land depicted by this plat reserves the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting.
6. The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions, and conditions of the separate instrument.

**FIRE LANES**

The undersigned does hereby covenant and agree that he (they) shall construct upon the surface of all easement areas for all purposes that do not interfere with the use of said surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting. The responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for the department and emergency use.

The area or areas shown on the plat as "Drainage and Detention Easement" shall remain in place for the purpose of collecting, conveying, and detaining runoff water from the tract or tracts shown on the plat as "Drainage and Detention Easement." The City will not be responsible for the maintenance and operation of the drainage facilities within the Drainage and Detention Easement for any damage to provide property or person that results from conditions within the Drainage and Detention Easement. No obstruction to the natural flow of water shall be permitted within the Drainage and Detention Easement. Each property owner shall keep the portion Drainage and Detention Easement (viewing or adjacent to the property) clean and free of debris, dirt, and any materials which would impede the flow of water. Each property owner shall post and maintain appropriate signs and signs for the purpose of inspection and supervision of maintenance work by the property owner. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement. The City shall not be held liable for any damages of any nature resulting from failure of facilities within the Drainage and Detention Easement.

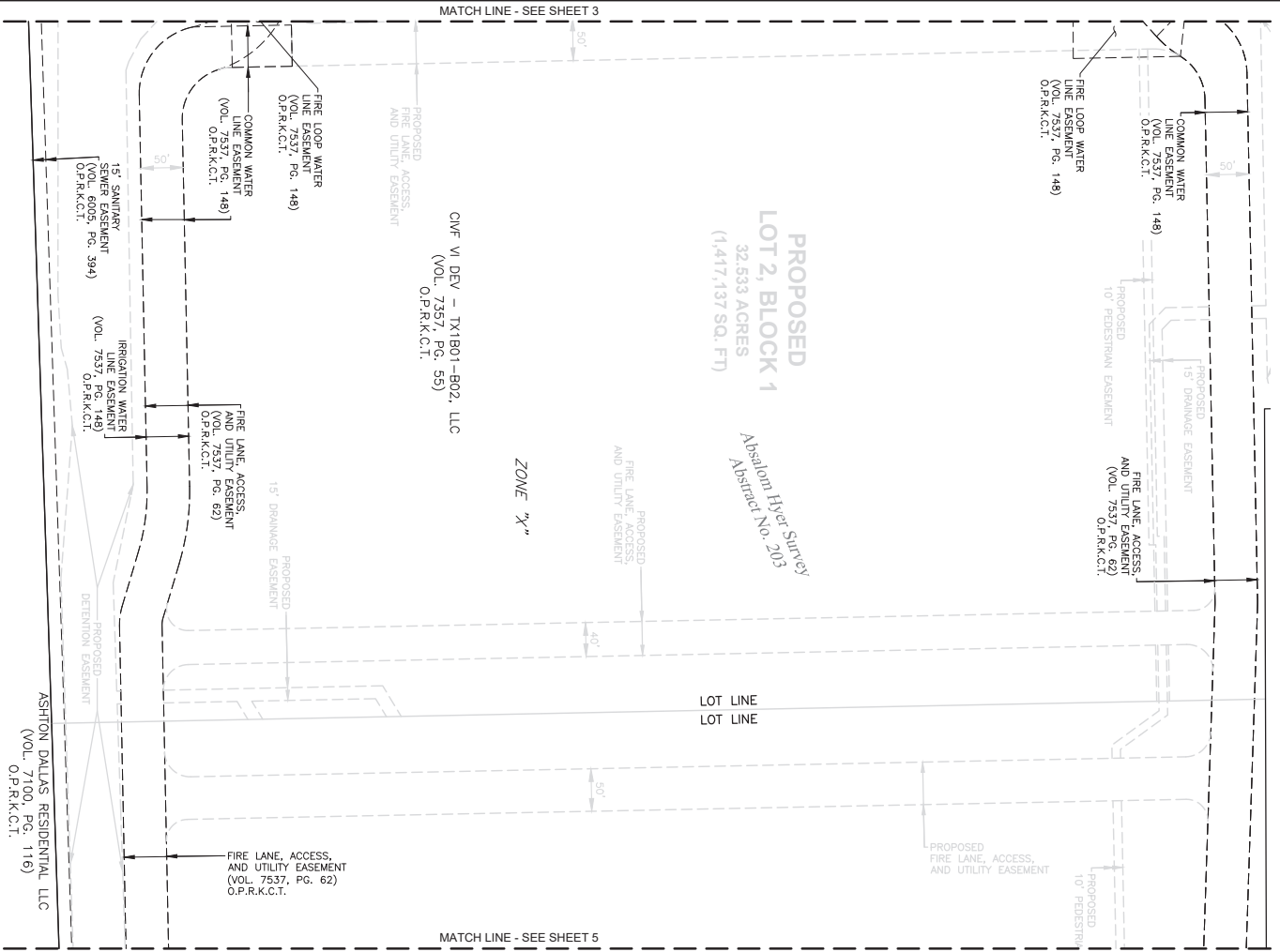


**DEVELOPER**  
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 4131 Snowwood Springs Road  
 Suite 54  
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 Contact: Tyler Wood  
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 2369 Dallas Parkway, Suite 101, Frisco, TX 75034  
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 TPELS Registration No. 10193953  
 Contact: Mark Pezeta, R.P.L.S.  
 Email: mpezeta@bgeinc.com  
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**FINAL PLAT**  
 LOT 1, BLOCK 1  
 BEING 40.823 ACRES OUT OF THE  
 ABSALOM HYER SURVEY, ABSTRACT NO. 203  
 KAUFMAN COUNTY, TEXAS  
 AUGUST 2022  
 SHEET 3 OF 6

Telephone: 972-464-4894 • Email: mpezeta@bgeinc.com



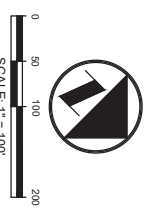
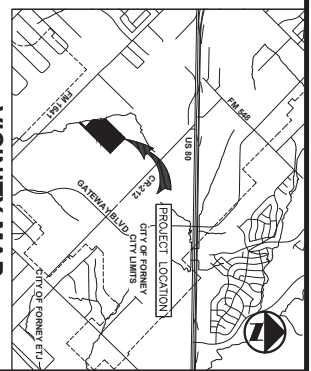
**GENERAL NOTES:**

1. Bearings are based on the Texas State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, adjustment realization 2011, with an applied combined scale factor of 1.00014077.
2. Coordinates shown hereon are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 or grid coordinate values, no scale and no projection.
3. The floodplain boundaries are not depicted hereon. The subject tract lies within Zone X. Zone X is an area determined to be outside the 0.2% annual chance floodplain incorporated Areas, Map Number 4857C0175D with Map Revised date July 3, 2012.
4. Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
5. Sealing a portion of this addition by means and bound is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
6. The owner of the land dedicated by this plat reserves the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for the purposes intended and to use the right to place and maintain materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting.
7. The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions, and conditions of the separate instrument.

**FIRE LANES**

The undersigned does hereby covenant and agree that he (they) shall construct upon the fire lanes shown on this plat in accordance with the standards set forth herein with the City of Fortney's zoning standards for the area, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstructions, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the free and unobstructed use of the fire lanes. The owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The local law enforcement agency(ies) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for the operation and emergency use.

The area or areas shown on the plat as "Drainage and Detention Easement" shall remain the property of the City of Fortney, Texas, and the undersigned shall be responsible for the maintenance and operation of the drainage facilities within the Drainage and Detention Easement or for any damage to property or person that results from conditions within the Drainage and Detention Easement. No destruction to the drainage and detention facilities shall be allowed without the written approval of the City of Fortney. Each property owner shall keep the portion Drainage and Detention Easement (retaining or adjacent to) their property clean and free of debris, dirt, and any materials which would impede the flow of water through the drainage and detention facilities. The undersigned agrees and agrees for the purpose of inspection and supervision of maintenance work by the City of Fortney, Texas, that the undersigned shall allow access to the drainage and detention facilities, to investigate, survey, construct and maintain and drainage facility deemed necessary for drainage purposes. The minimum finished floor elevation for each lot shall be as shown on the plat.



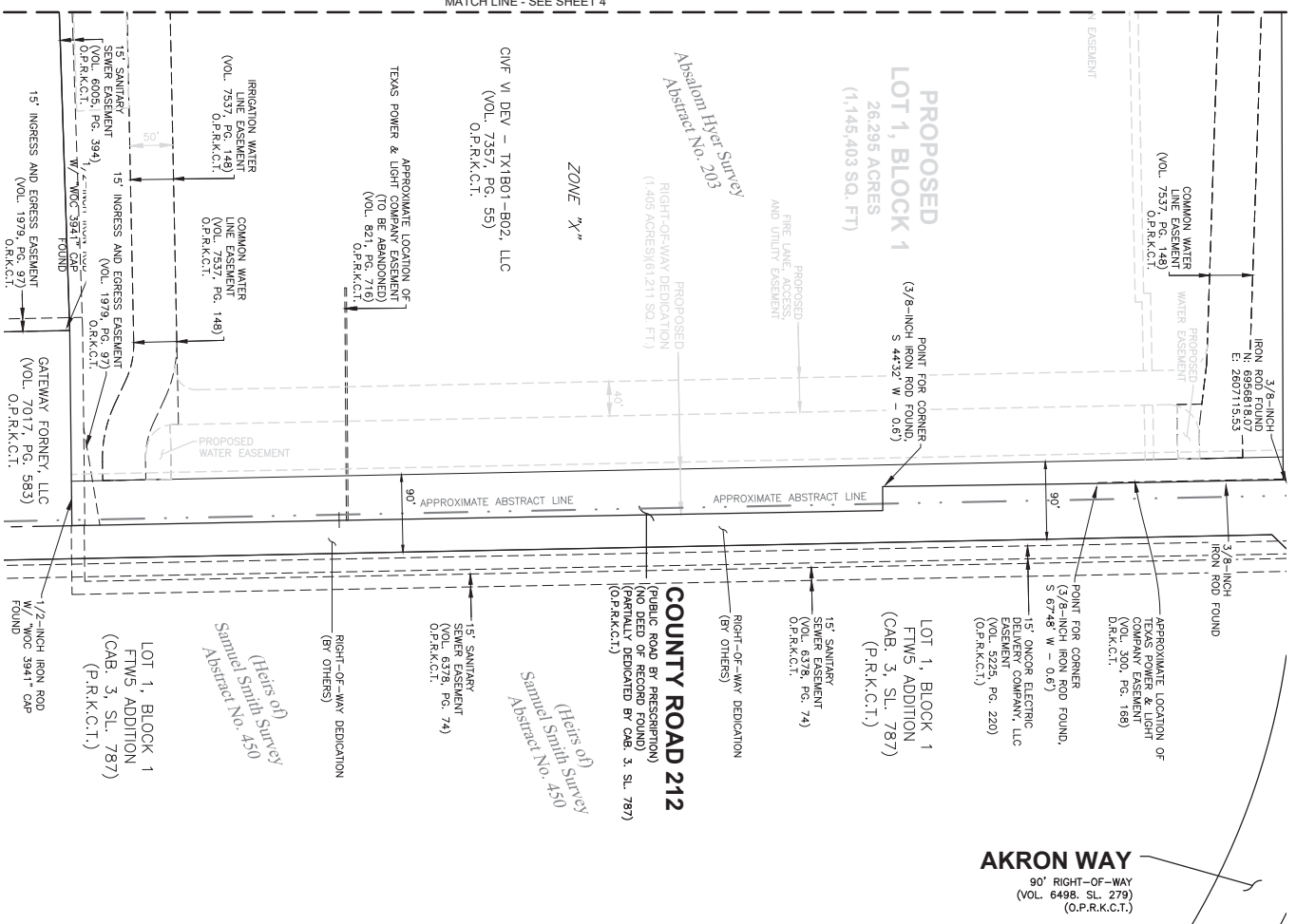
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 ABSALOM HYER SURVEY, ABSTRACT NO. 203  
 KAUFMAN COUNTY, TEXAS  
 AUGUST 2022  
 SHEET 4 OF 6

**DEVELOPER**  
 INTREPID EQUITY INVESTMENTS  
 4131 Snowwood Springs Road  
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 Austin, Texas 78756  
 Contact: Tyler Wood  
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**SURVEYOR**  
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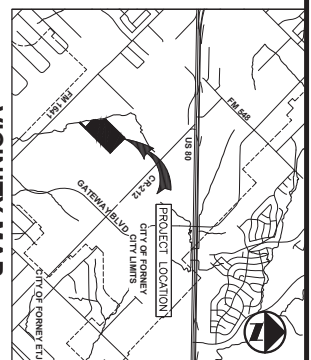
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MATCH LINE - SEE SHEET 4



**AKRON WAY**  
90' RIGHT-OF-WAY  
(VOL. 6498, SL. 279)  
(O.P.R.K.C.T.)

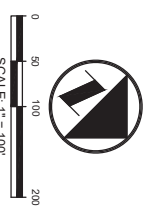
- GENERAL NOTES:**
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  - Coordinates shown herein are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 or grid coordinate values, no scale and no projection.
  - The floodplain boundaries are not depicted herein. The subject tract lies within Zone X, which is a flood hazard area. The flood hazard information is based on the Flood Insurance Rate Map (FIRM) incorporated herein, Map Number 4857C0175D with Map Revised date July 3, 2012.
  - Zone X - Areas determined to be outside the 0.2% annual chance floodplain.
  - Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
  - The owner of the land depicted by this plat reserves the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for utilities, included but not limited to the right to place surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping, and/or lighting.
  - The location of easements shown herein that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions, and conditions of the separate instrument.



**FIRE LANES**

The undersigned does hereby covenant and agree that he (they) shall construct upon the subject premises fire lanes in accordance with the fire lane standards set forth herein with the City of Forney's zoning standards for the area, and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstructions, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the fire lanes. The undersigned shall be responsible for the maintenance and repair of the fire lanes. The responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The local law enforcement agency(s) is hereby authorized to enforce parking regulations within the fire lanes, and to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for the department and emergency use.

The area or areas shown on the plat as "Drainage and Detention Easement" shall remain in the original use and condition of the land, and shall be used only for the purposes intended by the Drainage and Detention Easement. The City will not be responsible for the maintenance and operation of the drainage facilities within the Drainage and Detention Easement or for any damage to property or person that results from conditions within the Drainage and Detention Easement. No destruction to the original use and condition of the land, or any other use of the land, shall be permitted within the Drainage and Detention Easement, unless approved by the Director of Engineering Services. Each property owner shall keep the portion Drainage and Detention Easement (including or adjacent to) their property clean and free of debris, dirt, and any materials which would impede or obstruct the flow of water through the Drainage and Detention Easement. The undersigned agrees for the purpose of inspection and supervision of maintenance work by the City of Forney, Texas, that the undersigned shall be held liable for any damage to the Drainage and Detention Easement, or any other use of the land, that results from the undersigned's failure to investigate, survey, construct and maintain a drainage facility deemed necessary for drainage purposes. The minimum finished floor elevation for each lot shall be as shown on the plat.



**DEVELOPER**

**INTREPID EQUITY INVESTMENTS**  
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Suite 64  
Austin, Texas 78756  
Contact: Tyler Wood  
Phone: 214-965-9202

**SURVEYOR**

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Email: mpeze@bgeinc.com  
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**FINAL PLAT**  
**LOT 1, BLOCK 1**  
**PLATFORM 80-20 ADDITION II**  
BEING 40.823 ACRES OUT OF THE  
ABSALOM HYER SURVEY, ABSTRACT NO. 203  
KAUFMAN COUNTY, TEXAS  
AUGUST 2022  
SHEET 5 OF 6

**LEGAL DESCRIPTION:**

WHEREAS, Platform 80-20, Kaufman County, Texas, said tract being all of that called 20,718-acre tract of land described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 7396, Page 297, all of that called 20,059-acre tract of land described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 7396, Page 474, all of that called 55-acre tract of land described in deed Without Warranty to Platform 80-20, LP as recorded in Volume 6881, Page 309, as recorded in Volume 7295, Page 309 and Volume 7396, Page 484, and all of that called Platform 80-20, LP as recorded in Volume 6881, Page 309 and Volume 7396, Page 484, and all of that called 20-square-foot tract of land described in Deed Without Warranty as recorded in Volume 7395, Page 480, all of the Official Public Records of Kaufman County, said 40,823-acre tract being more particularly by metes and bounds as follows:

COMMENCING at a point for corner in the center of Farm to Market Road No. 1641, said point being the south corner of that certain tract of land described in Warranty Deed with Vendor's Lien to Robert A. Herold and Kathryn J. Herold as tenants in common and heirs, said point being the west corner of the west corner of the west corner of the west corner of that certain tract of land described in Warranty Deed with Vendor's Lien to Walter of Life Evangelical Lutheran Church of Forney, Texas as recorded in Volume 3589, Page 60 of said Official Public Records;

THENCE, North 44 degrees 28 minutes 41 seconds East, with the southeast line of said Herold tract, the northwest line of said Walter of Life Church tract, and the northwest line of that certain tract of land described in Special Warranty Deed to South Forney, LLC as recorded in Volume 6072, Page 307 of said Official Public Records, at a distance of 4.97 feet passing a 1-inch iron pipe found for witness, continuing for a total distance of 697.74 feet to the POINT OF BEGINNING, said point being the south corner of said 20,059-acre Platform 80-20 tract and in the centerline of a creek;

THENCE, North 04 degrees 18 minutes 09 seconds West, depicting the said northwest line of South Forney tract and with a west line of said 20,059-acre Platform 80-20 tract and said creek centerline, a distance of 66.51 feet to a point for corner;

THENCE, North 44 degrees 28 minutes 41 seconds East, depicting said creek centerline and with a northwest line of said 20,059-acre Platform 80-20 tract, a distance of 347.79 feet to a 5/8-inch iron rod with BGEF cap found for corner;

THENCE, North 45 degrees 32 minutes 18 seconds West, with a southwest line of said 20,059-acre Platform 80-20 tract, at a distance of 187.46 feet passing an interior corner of said Herold tract and the east corner of that certain tract of land described in Warranty Deed to Linden Steel, L.P. as recorded in Volume 5321, Page 323 of said Official Public Records, continuing for a total distance of 425.98 feet to a 3/8-inch iron rod found for corner in the east line of that called 20,059-acre Platform 80-20 tract, a distance of 22.93 feet to a 1/2-inch iron rod with BGEF cap found for corner;

THENCE, North 05 degrees 15 minutes 42 seconds West, a distance of 65.54 feet to a 5/8-inch iron rod with BGEF cap found for corner;

THENCE, with the southwest line of said 20,718-acre Platform 80-20 tract, the following seven (7) calls:

North 05 degrees 15 minutes 42 seconds West, a distance of 65.54 feet to a 5/8-inch iron rod with BGEF cap found for corner;

South 44 degrees 27 minutes 24 seconds West, a distance of 28.32 feet to a point for corner in the centerline of a creek;

North 17 degrees 40 minutes 22 seconds West, with said creek centerline, a distance of 76.62 feet to a point for corner;

North 08 degrees 15 minutes 07 seconds West, continuing with said creek centerline, a distance of 103.41 feet to a point for corner;

North 44 degrees 27 minutes 24 seconds East, departing said creek centerline, a distance of 56.97 feet to a 5/8-inch iron rod with BGEF cap found for corner;

North 05 degrees 15 minutes 42 seconds West, a distance of 207.13 feet to a 1/2-inch iron rod with TSGGA RPLS 5589 cap found for an angle point;

North 09 degrees 47 minutes 35 seconds West, a distance of 265.19 feet to a 1/2-inch iron rod with TSGGA RPLS 5589 cap found for corner in the southeast line that certain tract of land described in Special Warranty Deed to L. Reed Elm and wife, Janine M. Elm as recorded in Volume 4951, Page 403 of said Official Public Records;

THENCE, North 44 degrees 28 minutes 41 seconds East, with the northwest line of said 20,718-acre Platform 80-20 tract, the southeast line of said Elm tract, the southeast line of that certain tract of land described in Warranty Deed to Lyle Reed Elm and Janine M. Elm as recorded in Volume 4397, Page 299 of said Official Public Records, and the northwest line of said 59-square-foot Platform 80-20 tract, at a distance of 523.55 feet passing the northeast corner of the first-mentioned Elm tract, at a distance of 1,345.49 feet passing a 3/8-inch iron rod found for the north corner of said 20,718-acre Platform 80-20 tract, the east corner of the second-mentioned Elm tract, and the northwest corner of said 59-square-foot Platform 80-20 tract, a distance of 68.69 feet to a 1/2-inch iron rod with BGEF cap found for corner in the northwest line of said 20,718-acre tract of land described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 6799, Page 303 of said Official Public Records; said point being the northeast corner of said 59-square-foot Platform 80-20 tract;

THENCE, South 45 degrees 06 minutes 53 seconds East, with the southwest line of said 10,917-acre Platform 80-20 tract and the northeast line of said 59-square-foot Platform 80-20 tract, a distance of 48.76 feet to a 1/4-inch iron rod found for corner; said point being the south corner of said 10,917-acre Platform 80-20 tract, the west corner of that called 10,180-acre tract of land described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 6791, Page 565 of said Official Public Records; said point being the northwest corner of said 10,180-acre tract of land described in said 1,961-square-foot Platform 80-20 tract, and an angle point in the northwest line of said 10,917-acre Platform 80-20 tract;

THENCE, South 44 degrees 49 minutes 37 seconds East, depicting the northeast line of said 20,718-acre Platform 80-20 tract and with the southwest line of said 10,180-acre Platform 80-20 tract and the northeast line of said 1,961-square-foot Platform 80-20 tract, a distance of 258.78 feet to a 600 nail found for corner; said point being the south corner of said 10,180-acre Platform 80-20 tract, the west corner of that called 25,334-square-foot Platform described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 6731, Page 597 of said Official Public Records, and an angle point in the northeast line of said 1,961-square-foot Platform 80-20 tract;

THENCE, South 44 degrees 54 minutes 48 seconds East, continuing with the northeast line of said 1,961-square-foot Platform 80-20 tract and with the southwest line of said 25,334-square Platform 80-20 tract, a distance of 620.36 feet to a 3/8-inch iron rod found for corner; said point being the south corner of said 25,334-square Platform 80-20 tract, the west corner of that called 13,8257-acre tract of land described in General Warranty Deed to Platform 80-20, LP as recorded in Volume 6881, Page 309 of said Official Public Records, the southeast corner of said 1,961-square-foot Platform 80-20 tract, the northwest corner of said 20,059-acre Platform 80-20 tract, and an angle point in the northeast line of said 20,059-acre Platform 80-20 tract;

THENCE, South 44 degrees 41 minutes 28 seconds East, depicting the said northeast line of said 20,059-acre Platform 80-20 tract and with the southwest line of said 13,8257-acre Platform 80-20 tract, and the northeast line of said 20,059-acre Platform 80-20 tract, a distance of 121.43 feet to a point for corner; said point being the southeast corner of said 20,059-acre Platform 80-20 tract and the north corner of said South Forney tract;

THENCE, South 44 degrees 28 minutes 41 seconds West, depicting the said southwest line of said 13,8257-acre Platform 80-20 tract and with the said northwest line of said South Forney tract and the southwest line of said 20,059-acre Platform 80-20 tract, at a distance of 0.32 feet passing a 1-inch iron pipe found for the southwest corner of said 20,059-acre Platform 80-20 tract and the east corner of said 20,059-acre Platform 80-20 tract, continuing for a total distance of 2,165.75 feet to the POINT OF BEGINNING and containing an area of 40,823 acres or 1,778,265 square feet of land, more or less.

**OWNER'S DEDICATION**

STATE OF TEXAS  
COUNTY OF KAUFMAN §  
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS,  
That **PLATFORM 80-20, LP**, acting hereon by and through its duly authorized officers, does hereby accept this plat depicting the herein above described property as **LOT 1, BLOCK 1, PLATFORM 80-20 ADDITION II**, in addition to the above described plat, and the streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, or over across the easements as shown, except that improvements may be placed on the dedicated easements, if approved by the City of Forney. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use the same under the terms of the applicable laws of this State. The City of Forney and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Forney and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of maintaining and repairing their respective systems without the necessity of any time procuring permission from anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Forney, Texas.

Witness, my hand this \_\_\_\_ day of \_\_\_\_\_, 2022.  
By: \_\_\_\_\_  
Authorized Signature of Owner  
Printed Name and Title  
STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day, personally appeared instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public in and for the State of Texas  
My Commission Expires On: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I, Gregory Mark Peace, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Forney.

Preliminary to this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document, release date 2022-08-23.

Gregory Mark Peace  
Registered Professional Land Surveyor No. 6608



STATE OF TEXAS §  
COUNTY OF COLLIN §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day, personally appeared Gregory Mark Peace, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public in and for the State of Texas  
My Commission Expires On: \_\_\_\_\_

**FINAL PLAT**  
Approved by the City of Forney for filing at the office of the County Clerk of Kaufman County, Texas.

APPROVED BY: Planning and Zoning Commission, City of Forney, Texas  
Signature of Chairman \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED BY: City Council, City of Forney, Texas  
Signature of Mayor \_\_\_\_\_ Date \_\_\_\_\_

NUMBER	DETA	RADIUS	CHORD BEARINGS	CHORD DISTANCE	CHORD LENGTH	ARC LENGTH
C1	90°00'00"	50.00'	S 88°50'58" W	70.71'	78.54'	
C2	90°00'00"	40.00'	S 01°09'02" E	56.57'	62.83'	
C3	90°00'00"	75.00'	S 01°09'02" E	106.07'	117.81'	
C4	54°30'45"	40.00'	S 16°35'35" W	36.64'	38.06'	
C5	35°29'15"	120.00'	S 28°24'25" E	73.14'	74.32'	
C6	90°00'00"	50.00'	N 88°50'58" E	70.71'	78.54'	
C7	90°00'00"	80.00'	N 88°50'58" E	113.14'	125.66'	
C8	90°00'00"	30.00'	N 88°50'58" E	42.43'	47.12'	
C9	90°00'00"	25.00'	N 01°09'02" W	35.36'	39.27'	
C10	90°00'00"	60.00'	S 88°50'58" W	84.86'	94.25'	
C11	90°00'00"	40.00'	S 88°50'58" W	56.57'	62.83'	
C12	90°00'00"	40.00'	S 88°50'58" W	113.14'	125.66'	
C13	35°29'15"	150.00'	N 28°24'25" W	91.43'	92.91'	
C14	54°30'45"	40.00'	N 16°35'35" E	73.28'	76.11'	
C15	86°53'42"	80.00'	N 00°24'07" E	55.02'	60.66'	
C16	38°32'15"	1,390'	N 26°55'00" W	9.17'	9.35'	
C17	38°32'15"	1,444'	N 62°44'04" E	26.97'	34.80'	
C18	138°55'20"	14.44'	S 01°34'12" E	51.25'	57.03'	
C19	90°48'09"	36.00'	S 01°34'12" E	51.25'	57.03'	

NUMBER	BEARING	DISTANCE
L1	N 43°50'58" E	60.58'
L2	S 10°39'47" E	50.06'
L3	S 43°48'52" W	137.26'
L4	S 43°50'58" W	26.10'
L5	N 10°39'47" W	57.19'
L6	N 43°50'58" E	76.28'
L7	N 00°31'19" W	93.73'
L8	S 43°48'52" W	137.26'
L9	S 00°31'19" E	53.46'
L10	N 43°50'58" E	37.56'
L11	N 43°50'58" E	37.56'

**FINAL PLAT**  
**LOT 1, BLOCK 1**  
**PLATFORM 80-20 ADDITION II**  
BEING 40.823 ACRES OUT OF THE  
ABSALOM HYER SURVEY, ABSTRACT NO. 203  
KAUFMAN COUNTY, TEXAS  
AUGUST 2022  
SHEET 6 OF 6

**DEVELOPER**  
**INTREPID EQUITY INVESTMENTS**  
4131 Snowwood Springs Road  
Suite 64  
Austin, Texas 78756  
Contact: Tyler Wood  
Phone: 214-965-9202

**SURVEYOR**  
**BGE, Inc.**  
2395 Dallas Parkway, Suite 101, Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TPELTS Registration No. 10193953  
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